



# **Local Review Body (LRB)**

## **20th July 2022**

**210771/DPP - 55 Argyll Place**

**Erection of 1.5storey and single storey extensions and  
installation of rooflights to rear**

Lucy Greene, Planning Advisor

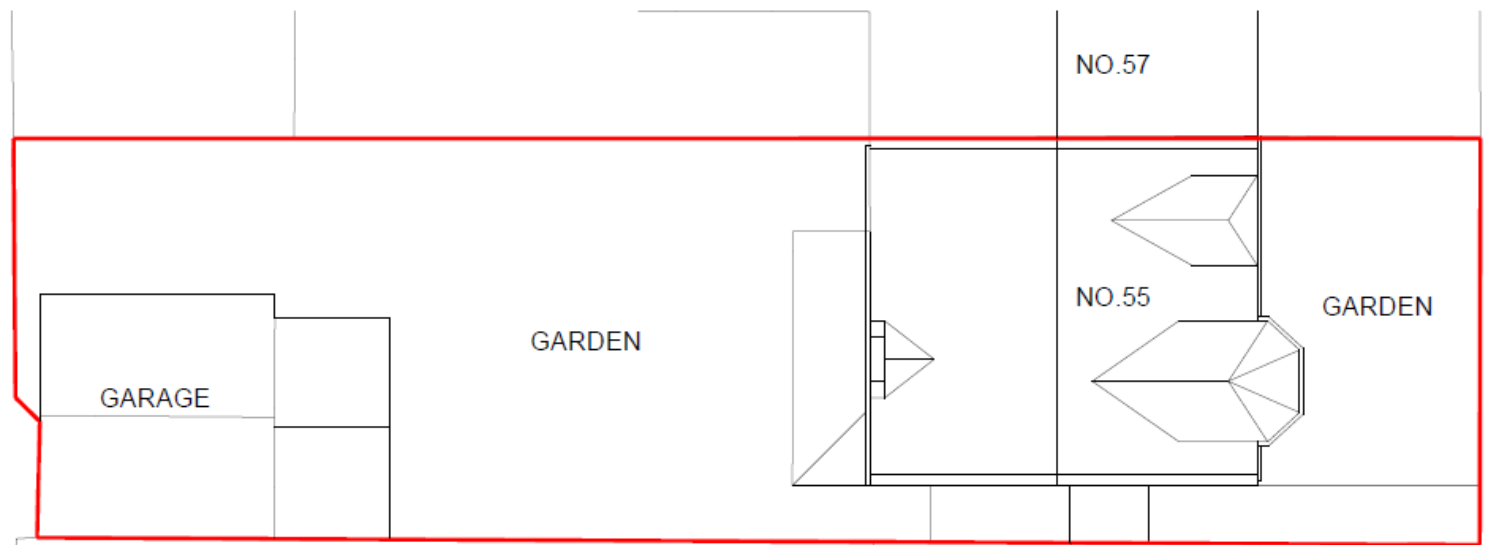
# Location Plan



LOCATION PLAN 1:1250



MILE-END LANE



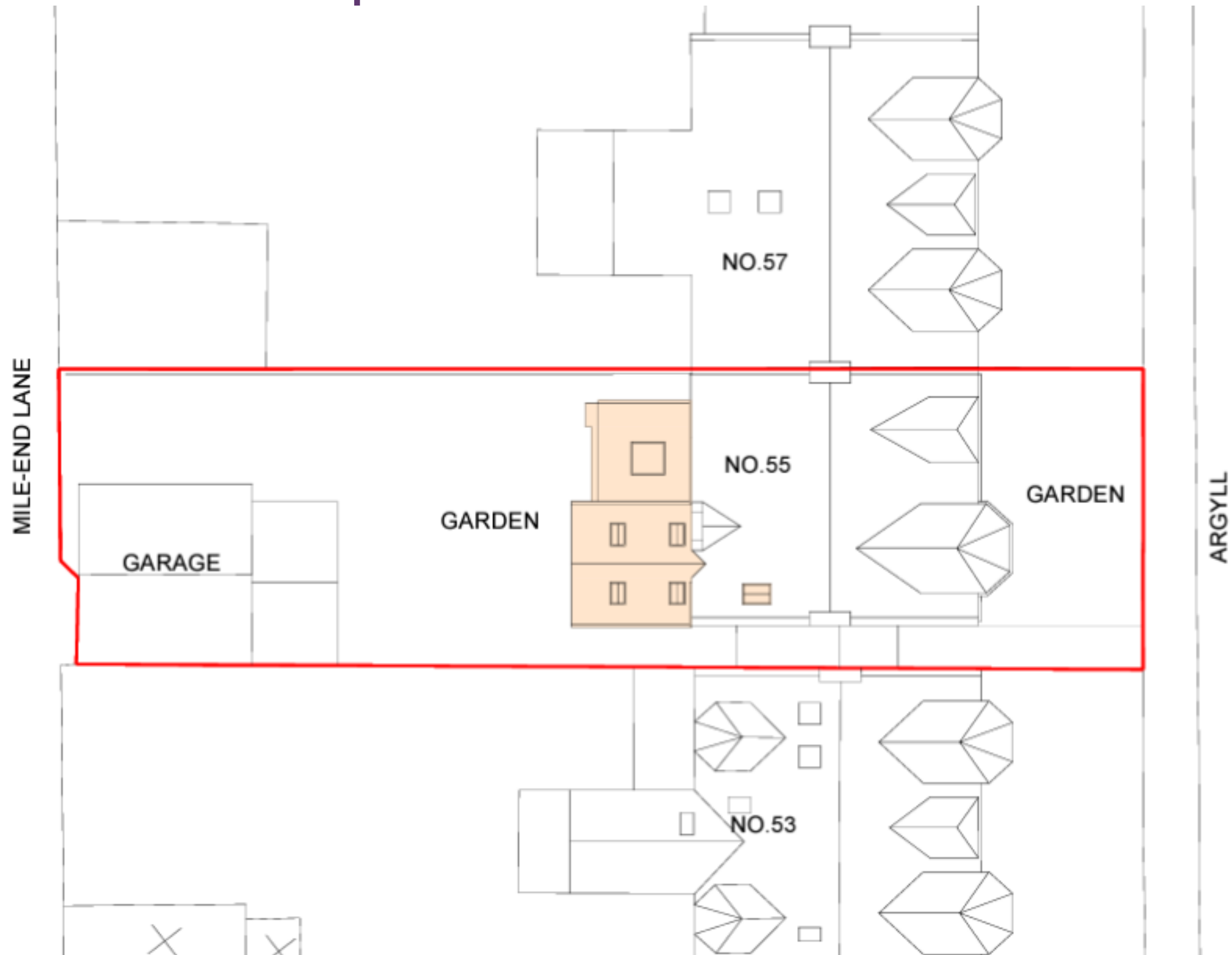
ARGYLL PLACE



# Google 3D 2022



# Location Plan as Proposed



# Existing Elevations

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**DO NOT SCALE OFF THIS DRAWING**  
All dimensions, spot levels and existing positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported. Drawings to be read & fully understood before work commences.  
**IF IN DOUBT - ASK.**



WEST ELEVATION



SOUTH ELEVATION

# Proposed Elevations



NORTH ELEVATION 1:100

0 5m



WEST ELEVATION 1:100

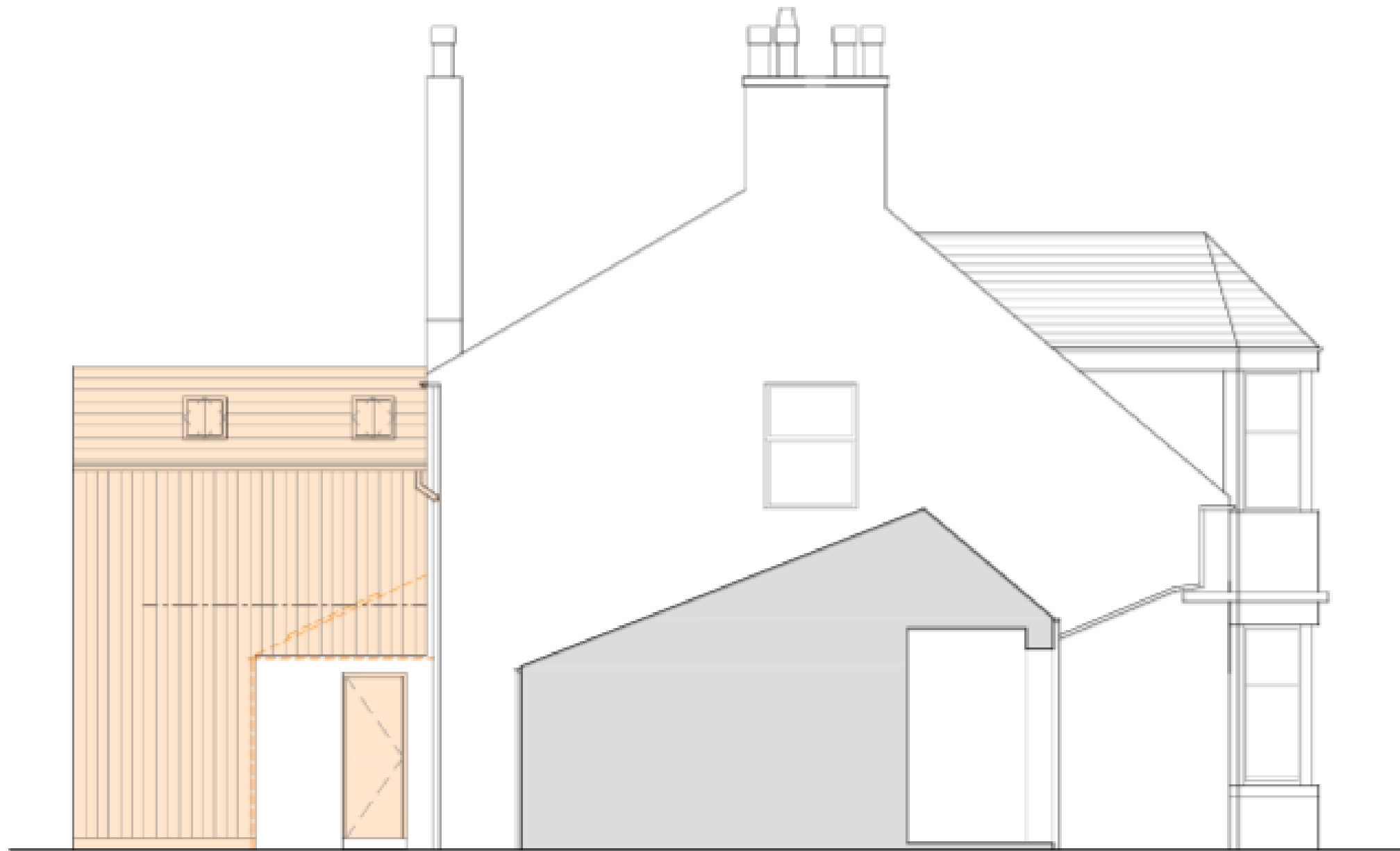
0 5m

All dimensions, sq  
Contractor  
Drawings

Fil

W

# Proposed Elevation (south)



# Proposed Visual





# Reasons for Refusal

- Stated in full in Report of Handling in Agenda. Key points:
- Excessive scale and massing would have adverse impact on character, setting and appearance of the Cat B listed building and terrace
- Detrimental to character of Rosemount and Westburn CA
- Contrary to H1, D1, D4 and policy and guidance from HES
- Design merits of rooflight and re-use of granite would outweigh matters above.

# Applicant's Case

- Rear elevations have been extended and altered over time
- Extension is modern interpretation of the form of surrounding properties
- Materials are high quality including re-use of granite
- Layout allows preservation of stair and principle rooms
- Extension positioned to reduce impact on neighbours and it complies with daylighting guidelines
- Extension represents only 18% increase in floorspace
- Height of roof is subservient to original house and respects character
- It is an obvious modern addition. Architectural character of listed building has been retained.
- Extension will adapt house for modern living allowing its use for the next 100 years.

# Policies – LDP 2017

Policy H1: Relates to new residential developments (excerpt)

## Policy H1 - Residential Areas

Within existing residential areas (H1 on the Proposals Map) and within new residential developments, proposals for new development and householder development will be approved in principle if it:

- 1 does not constitute over development;
- 2 does not have an unacceptable impact on the character and amenity of the surrounding area;
- 3 does not result in the loss of valuable and valued areas of open space. Open space is defined in the Aberdeen Open Space Audit 2010; and
- 4 complies with Supplementary Guidance.

# Policies – LDP 2017

## Policy D4: Historic Environment (excerpt)

### Policy D4 - Historic Environment

The Council will protect, preserve and enhance the historic environment in line with Scottish Planning Policy, SHEP and its own Supplementary Guidance and Conservation Area Character Appraisals and Management Plan. There will be a presumption in favour of the retention and reuse of listed buildings and buildings within conservation areas that contribute to their character. High quality design that respects the character, appearance and setting of the historic environment and protects the special architectural or historic interest of its listed buildings, conservation areas and historic gardens and designed landscapes, will be supported.

# D1: Quality Placemaking by Design

All dev't must *“ensure high standards of design and have a strong and distinctive sense of place which is a result of context appraisal, detailed planning, quality architecture, craftsmanship and materials”*.

Proposals will be assessed against the following six essential qualities:

- Distinctive
- Welcoming
- Safe and pleasant
- Easy to move around
- Adaptable
- Resource-efficient

# Policies – LDP 2017

- D1: Quality Placemaking by Design
- D5: Our Granite Heritage
- T2: Managing the Transport Impact of Development
- T3: Sustainable and Active Travel
- R6: Waste Management Requirements for New Development

# Evaluation

- **Primacy of Development Plan**
- **The Planning Act requires all applications to be determined in accordance with Development Plan unless material considerations indicate otherwise**
- **Careful assessment, each application treated on its merits**

# Basis for Decision

Zoning: Do members consider that the proposed development would comply with Policy D4 on Historic Environment and national guidance, on Listed Buildings and Conservation Areas?

How would it affect the character and amenity of the area as set out in policy H1 and the relevant supplementary guidance?

**1. Does the proposal comply with the Development Plan when considered as a whole?**

**2. Do other material considerations weigh for or against the proposal? Are they of sufficient weight to overcome any conflict with the Development Plan?**

Decision – state clear reasons for decision





Thank you  
Questions ?

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